

ST. THOMAS MAP

CONSTRUCTION DOCUMENTS AND CONTRACTOR RESPONSIBILITIES:

Documents prepared by the Architect are instruments of the Architect’s services for use solely with respect to this Project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. They are not to be used for other projects or for additions to this project outside the scope of the work indicated in these Construction Documents without specific written consent of the Architect.

These documents describe the essential elements to determine the scope of the project. The Intent of these Construction Documents is to include all items necessary for the proper execution and completion of the work by the Contractor. Any inconsistencies, errors or omissions shall immediately be reported to the Architect for its clarification or correction. These Construction Documents do not necessarily indicate or describe in detail all work required for completion of the project, the Contractor shall provide all items required for complete operating systems including items not necessarily shown in these Documents, but that can be reasonably inferred as being required and necessary for the proper and entire finishing of the work. The Contractor shall carefully study and compare the Contract Documents with each other and with information furnished by the Owner. Before commencing the activities, the Contractor shall:

- Take field measurements and verify field conditions.
- Carefully compare this and other information known to the Contractor with the Contract Documents.
- Promptly report errors, inconsistencies or omissions discovered to the Architect.

The Contractor shall supervise and direct the work, using the Contractor’s best skill and attention. The Contractor shall be solely responsible for and have control over jobsite safety, construction means, methods, techniques, sequences and procedures, and for coordinating all portions of the work. The work performed by the contractor shall adhere strictly to the construction documents, if site conditions or the construction process impede that, the architect shall be notified immediately. The contractor shall verify all site dimensions prior to start the work and report to the architect any discrepancies. Where drawings indicate dimensions of existing construction verify by field measurement. Where fabricated products are to be fitted to other construction verify dimensions by field measurement before fabricating and, when possible, allow for fitting and trimming during installation. All construction shall be done according to current codes and the highest standards of the trade, and following instructions and recommendations by trade organizations and manufacturers.

MATERIALS, METHODS AND STANDARDS:

The following standards shall apply to all materials unless specified otherwise:  
All lumber to be southern yellow pine no.1 pressure treated.  
All plywood to be pressure treated exterior grade.  
All wood glue to be exterior grade waterproof, approved by the architect.  
All fasteners and connectors shall be rust resistant, approved by the architect.  
All field welding to be cleaned and immediately painted with anti-rust paint.  
All connectors as specified, no substitutions unless authorized by the architect.  
All fasteners as specified by connector manufacturer or these dwgs.  
When epoxy anchors are required, all surfaces must be thoroughly cleaned with brush and compressed air.  
All Joint sealant shall be urethane base approved by the architect.  
All surfaces shall be protected against the weather and decay, all finishes shall be to the best industry standards.  
Code references:  
Irc (international residencial code): refer to specific construction element.  
Ibc (international building code):  
    wood - chapter 23.  
    structural steel - chapter 22.  
    concrete - chapter 19 & 18.  
    masonry - chapter 21.

Materials strength, unless indicated otherwise in Structural Documents:  
Wood - southern yellow pine no.1:  
    modulus of elasticity, e=1,600,000  
    other design values refer to codes.  
  
Concrete: compressive strength:  
    bldg. Structure: cisterns, ret. Walls, columns, beams, suspended slabs: f'c=4,000psi  
    others f'c=3,000psi.  
    or as required in these documents.  
    steel reinforcement,a60: fy=60,000psi.  
Structural steel: a36: fy=36,000psi.  
Masonry: mortar: type m, (1)portland cement;(2.5)sand.  
    compressive strength min.=2,500psi.  
Concrete for cisterns, Swimming pools and roofs shall contain Xypex additive.

ABBREVIATIONS:

- AC - Air Conditioned
- AFF - Above Finished Floor
- APPROX - Approximate
- BLDG. - Building
- BOB - Bottom of Beam
- BOS - Bottom of Slab
- BOT - Bottom
- BR - Bathroom
- BRD - Board
- BW - Both ways
- CMU - Concrete Masonry Unit
- COL - Column
- CONC - Concrete
- DIA - Diameter
- DS - Down Spout
- DWG - Drawing
- EA - Each
- ELEV - Elevation
- EQ - Equal
- EXP - Expansion
- FD - Floor Drain
- FFE - Finish Floor Elevation
- FRC - Fiber Reinforced Concrete
- FT - Feet
- Ga - Gage
- GALV - Galvanized
- GC - General Contractor
- GYP - Gypsum
- HB - Hose Bib
- HDG - Hot deep galvanized.
- H/HORIZ - Horizontal
- IBC - International Building Code
- IRC - International Residential Code
- IWH - Instantaneous Water Heater
- L.F./lf - Linear foot
- KIT - Kitchen
- MANU - Manufacturer
- MAX - Maximum
- MIN - Minimum
- MTD - Mounted
- NIC - Not Included in Contract
- O.C. - On center
- OWJ - Steel Open Web Joist
- PLY - Plywood
- PSF - Pound per square foot
- PSI - Pound per square inch
- RD - Roof Drain
- REF - Reference
- REINF - Reinforced-Reinforcement
- REP - Representative
- SCH - Schedule
- SF/SqFt - Square Feet
- Shmk - Shrinkage, Temperature Reinf
- SIM - Similar
- SPECS - Specifications
- SQ - Square
- STL - Steel
- SYM - Symmetrical
- SYP - Southern Yellow Pine
- THK - Thick, thickness
- TOB - Top of Beam
- TOS - Top of Slab
- TOIL - Toilet
- TR - Treated
- TOW - Top of Wall
- TYP - Typical
- V/Vert - Vertical
- VAR - Variable
- W/ - With
- WDW - Window
- WH - Water Heater
- WWW - Welded wire Mesh
- @ - at
- # - Number, Rebar number



ZONING AND LOCATION MAP

ZONING: C & B-2

Havensight Mall Perimeter Fence Enclosure  
GERS  
Property ID No. 105404170100  
Parcel No. 1  
Estate Thomas  
6F & 6B New Quarter  
St. Thomas, U.S. Virgin Islands

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	S3-1 FENCE AND GATE DETAILS

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PROJECT No. 0000

ISSUED:0000000

Property ID No. 105404170100

Parcel No. 1

Estate Thomas

6F & 6B New Quarter

St. Thomas, U.S. Virgin Islands

REGISTERED ARCHITECT

★

★

U.S. VIRGIN ISLANDS

FERREYRA

687A

REVISIONS

#	Date
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Sheet Issue Date:

08/19/10

Havensight Mall Perimeter Fence Enclosure

LOCATION - ZONING MAP - ZONING COMPLIANCE - INDEX OF DRAWINGS

.C1-1





**UdD—Urban land**  
This map unit consists of areas that have more than 70 percent of the surface covered by airports, shopping centers, parking lots, large buildings, streets, sidewalks, or other impervious surfaces. Slopes are mainly 0 to 20 percent, but they range from 0 to 60 percent. Closely associated areas, such as lawns, parks, vacant lots, and playgrounds, contain natural soils, but these areas were too small to be mapped separately.  
This map unit is in land capability subclass VIII.

**UC--Urban land-Cinnamon Bay complex, 0 to 12 percent slopes, occasionally flooded**

This map unit consists of Urban land and very deep, very gravelly soils that are so intermingled that it was not practical to map them separately. The Urban land consists of airports, shopping centers, parking lots, large buildings, streets, sidewalks, or other impervious surfaces. Closely associated areas, such as lawns, parks, vacant lots, and playgrounds, contain natural soils, but these areas were too small to be mapped separately.

**Setting**

Landform position: On alluvial fans and terraces

Shape of areas: Irregular

Size of areas: 3 to 100 acres

**Composition**

Urban land: 80 percent

Cinnamon Bay and similar soils: 15 percent

Contrasting inclusions: 5 percent

**Minor Components**

**Contrasting inclusions**

- Sandy Point—very poorly drained soils
- Solitude—somewhat poorly drained soils

**Similar inclusions**

- Soils that have a gravelly or very gravelly surface layer
- Soils that have a stony or very stony surface layer
- Areas of Urban land on slopes of more than 12 percent

**Typical Profile**  
**Cinnamon Bay**  
Surface layer: 0 to 3 inches, very dark grayish brown loam  
Subsurface layer: 3 to 11 inches, dark brown loam  
Subsoil: 11 to 21 inches, dark yellowish brown clay loam  
Substratum: 21 to 31 inches, dark yellowish brown sandy loam  
31 to 47 inches, pale brown sandy clay loam, 47 to 57 inches, dark yellowish brown sandy clay loam, 57 to 60 inches, brown sandy clay loam

**Soil Properties and Qualities**  
**Cinnamon Bay**  
Drainage class: Well drained  
Permeability: Moderate  
Available water capacity: Medium  
Organic matter content: Moderate  
Natural fertility: Moderate  
Hazard erosion: Moderate  
Seasonal high water table: More than 6 feet deep  
Depth to bedrock: More than 60 inches  
Root zone: More than 60 inches  
Shrink-swell potential: Low  
Salinity: Nonsaline  
Flooding: Occasional for very brief periods from April to December  
Stoniness: Nonstony

**Use and Management**  
This map unit is unsuited to most urban uses.  
Flooding is a severe limitation. If developed, offsite fill material or pilings should be used to raise the structure above the maximum flood stage.  
The areas of Cinnamon Bay soil in this map unit are poorly suited for recreational uses. Flooding is a management concern. If developed, offsite fill material or pilings should be used to raise the structure above the maximum flood stage.  
The areas of Cinnamon Bay soil in this map unit are well suited for use as wildlife habitat areas. These areas have no significant management concerns. The potential for Cinnamon Bay soils in the map unit to be used as wetland wildlife habitat is poor. The depth to water is a management concern.

This map unit is in capability subclass VIIIs.

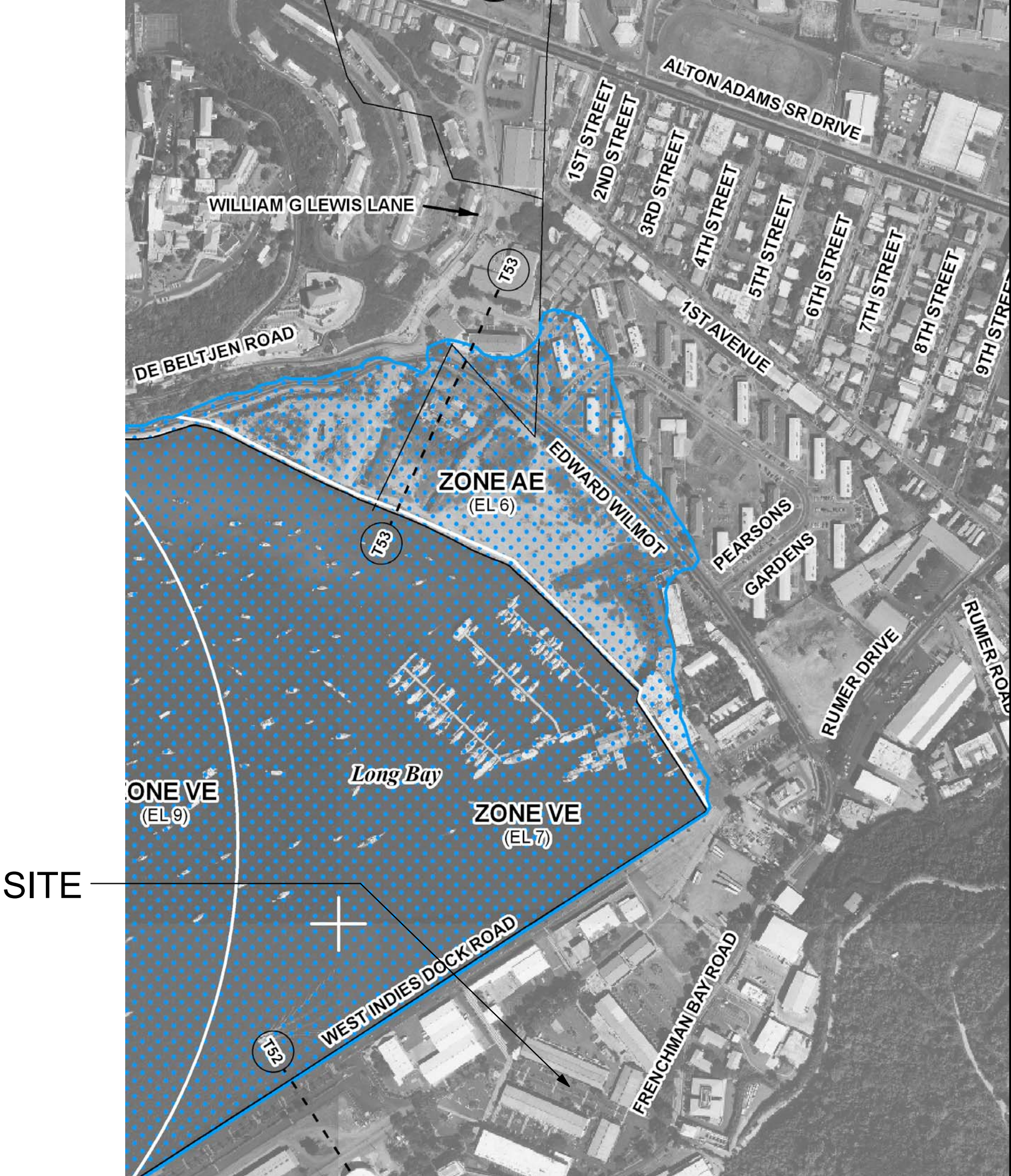
Data Compiled from:  
Soil Survey of the Virgin Islands - Table 13  
IBC - Tables 1804 and 1610.1

### SOIL UbD, UcC, Us PROPERTIES

Depth in.	USDA Texture	Unified Classification	Allowable Foundation Pressure psf (1)	Lateral Bearing (2)	Coef. Of Friction	Lateral Pressure Active (2)	Lateral Pressure at Rest (2)
0-60	Variable	CL	1,500	100	0.70	60	100

(1) ALLOWABLE FOUNDATION PRESSURE: AN INCREASE OF ONE-THIRD IS PERMITTED WHEN USING THE ALTERNATE LOAD COMBINATIONS IN SECTION 1605.3.2 THAT INCLUDE WIND OR EARTHQUAKE LOADS.

(2) POUND PER SQUARE FOOT PER FOOT OF DEPTH



# LEGEND

**SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

**ZONE A**  
No Base Flood Elevations determined.

**ZONE AE**  
Base Flood Elevations determined.

**ZONE AH**  
Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

**ZONE AO**  
Flood depths of 1 to 3 feet (usually shell flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.

**ZONE AR**  
Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently destroyed. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

**ZONE A99**  
Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

**ZONE V**  
Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

**ZONE VE**  
Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

**FLOODWAY AREAS IN ADJACENT AREAS**

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

**OTHER FLOOD AREAS**

**ZONE X**  
Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

**OTHER AREAS**

Areas determined to be outside the 0.2% annual chance floodplain. Areas in which flood hazards are undetermined, but possible.

**COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**

**OTHERWISE PROTECTED AREAS (OPAs)**

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary

0.2% annual chance floodplain boundary

Floodway boundary

Zone D boundary

CBRS and OPA boundary

Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths, flood velocities, or velocities.

Base Flood Elevation line and wave elevation in feet

Base Flood Elevation formerly value that uniform within zone; elevation in feet\*

(EL 913)

MAP NUMBER: 7800000027G  
Revised: April 2007  
Flood Zone: X (Area to be determined  
to be outside the 0.2% annual chance  
floodplain)

**C.A. FERREYRA & ASSOCIATES**

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Parcel No. 1  
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St. Thomas, U.S. Virgin Islands

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08/19/10

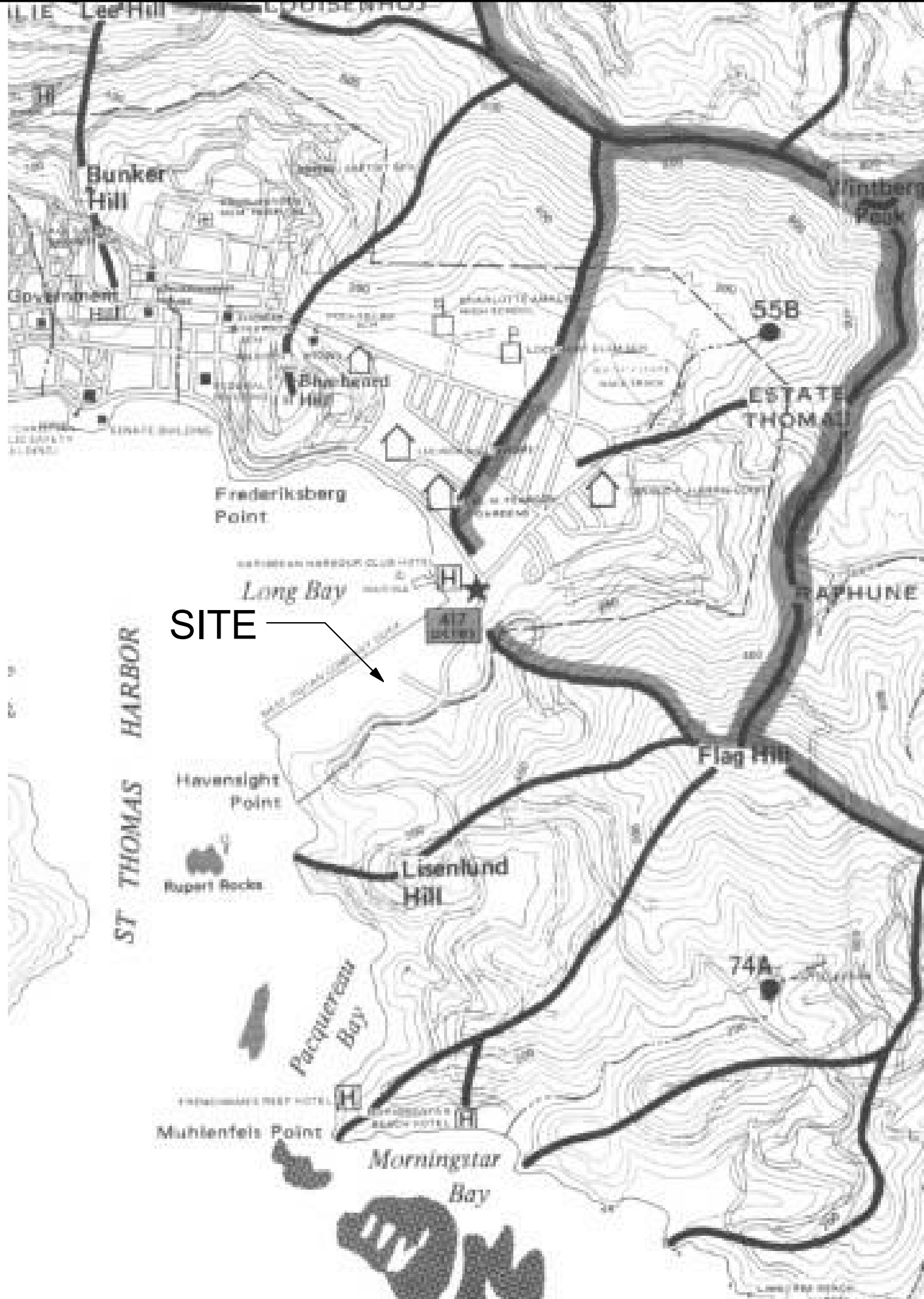
# Havensight Mall Perimeter Fence Enclosure

**.C1-2**

# SOILS CLASSIFICATION MAP



# WATER RESOURCES MAP



## SEDIMENT REDUCTION MAP

# FLOOD INSURANCE RATE MAP

**EARTH CHANGE**  
THE WORK PROPOSED IN THIS SUBMITTAL HAS MINIMAL IMPACT. THE ONLY SOIL MOVEMENT IS THE EXCAVATION FOR POSTS EMBEDMENT, IT WILL BE DONE MANUALLY. THE SOIL EXTRACTED, A TOTAL OF 4.5 C.Y., WILL BE USED TO FILL SOME LOW AREAS IN PLANTERS

**CRITICAL AREAS:**  
THE SITE HAS MINIMAL SLOPE TO DRAINS, HISTORICALLY FLOODS ARE NOT A PROBLEM AT THE SITE.  
DURING CONSTRUCTION AREAS OF FILL ACCUMULATION SHALL BE MONITORED CLOSELY UNTIL THEY BECOME STABILIZED.

**LAND CLEARING:**  
**NO LAND CLEARING IS NEEDED AT THE SITE.**

**LIMIT SITE DISTURBANCE:**  
LIMIT SITE DISTURBANCE TO NEW CONSTRUCTION AREA. SILT FENCE INSTALLATION IS NOT NECESSARY, THE EXCAVATED SOIL MUST BE IMMEDIATELY PLACED IN THE DEFINITIVE LOCATION, LEVELING AND RAKING SHALL TAKE PLACE BEFORE THE END OF THE DAY  
CONSTRUCTION SHALL BE STARTED IMMEDIATELY AFTER EARTH CHANGE IS MADE, AND CONSTRUCTION SHALL NOT STOP UNTIL ALL EXCAVATED AREAS ARE COVERED BY CONSTRUCTION. ALL SOIL NOT COVERED BY CONSTRUCTION SHALL BE STABILIZED AS SOON AS THE DEFINITIVE CONTOURS ARE OBTAINED.

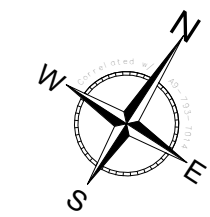
**- BEFORE THE START OF SOIL MOVEMENT MAKE SURE ALL MATERIALS AND EQUIPMENT NECESSARY FOR THE FIRST STAGES OF CONSTRUCTION ARE ON THE SITE OR READILY AVAILABLE, THAT INCLUDES FORMS, STEEL REINFORCEMENT, CONCRETE BLOCKS, SCAFFOLDING, MIXERS AND CHUTES.**

**DO NOT PERFORM EARTH CHANGE ON AREAS THAT ARE NOT TO BE STABILIZED OR COVERED BY CONSTRUCTION IMMEDIATELY.**

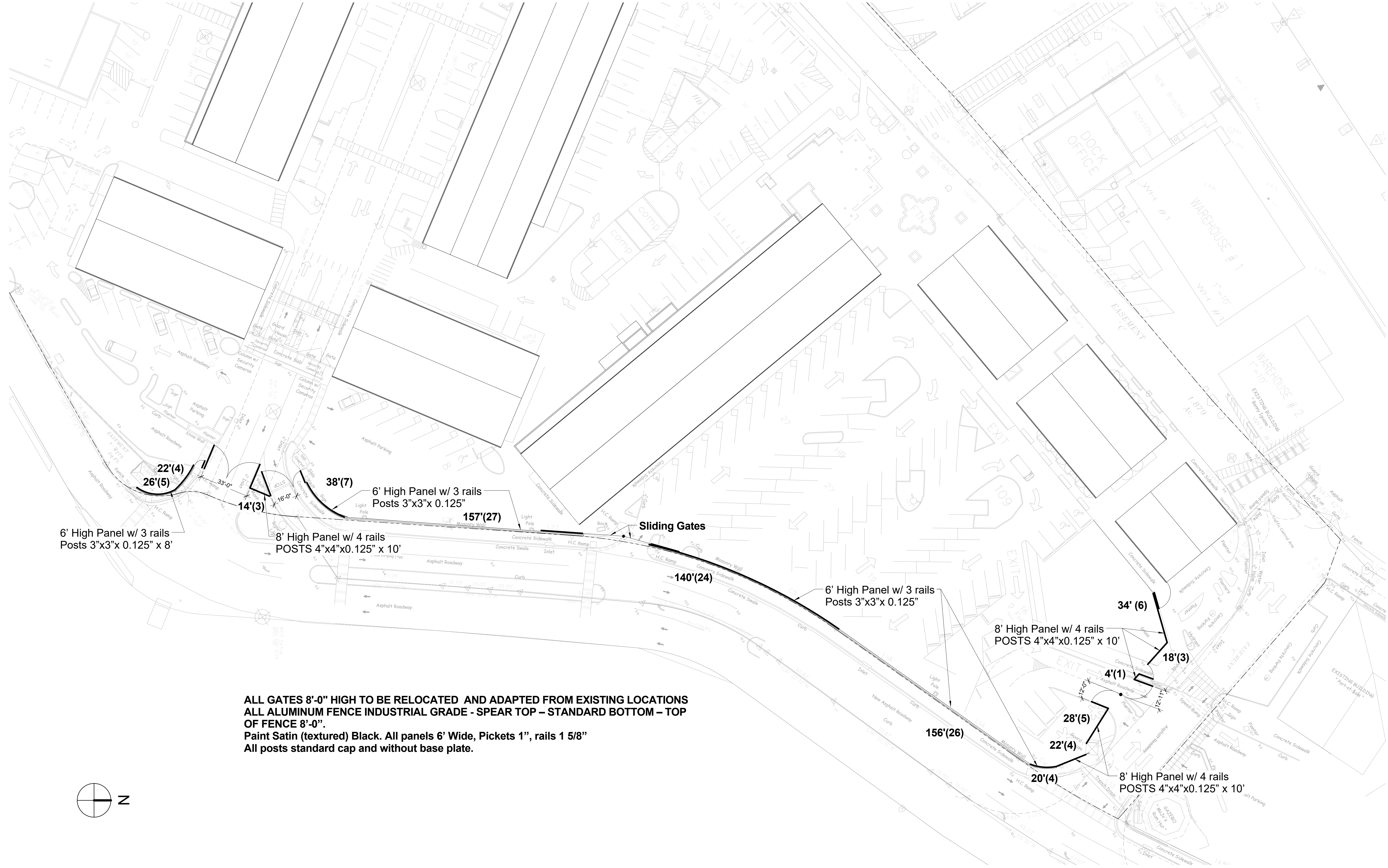
**MAINTENANCE:**  
**NEWLY SEEDED AND PLANTED AREAS SHALL BE PROTECTED AND WATERED UNTIL PLANTS ARE ESTABLISHED.**

# EARTH CHANGE - SUMMARY OF WORK

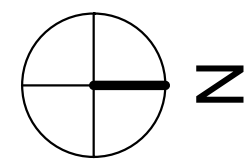




NOTE FROM THE ARCHITECT: THIS PLAN IS A COPY FROM THE ORIGINAL SURVEYOR'S PLAN. IT HAS BEEN HIGHLY MODIFIED TO FIT ARCHITECT'S OFFICE STANDARDS AND COMPUTER PROGRAM SETTINGS. ALTHOUGH ALL THE FEATURES RELEVANT TO ARCHITECTURAL DESIGN ARE PRESERVED THE ORIGINAL SURVEYOR'S PLANS SHALL ALWAYS TAKE PRECEDENCE.



ALL GATES 8'-0" HIGH TO BE RELOCATED AND ADAPTED FROM EXISTING LOCATIONS  
ALL ALUMINUM FENCE INDUSTRIAL GRADE - SPEAR TOP – STANDARD BOTTOM – TOP  
OF FENCE 8'-0".  
Paint Satin (textured) Black. All panels 6' Wide, Pickets 1", rails 1 5/8"  
All posts standard cap and without base plate.

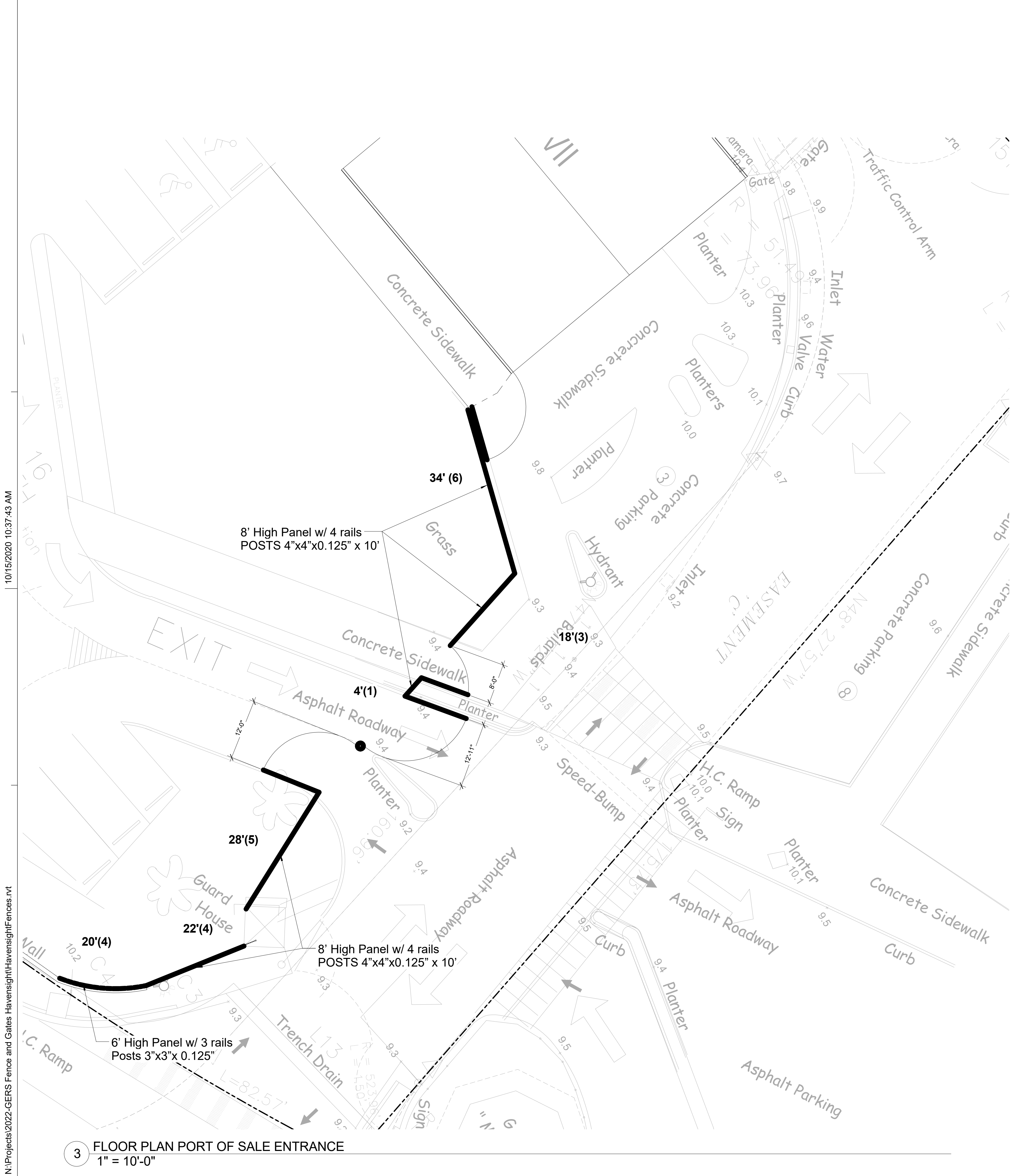


1 FLOOR PLAN  
1" = 30'-0"



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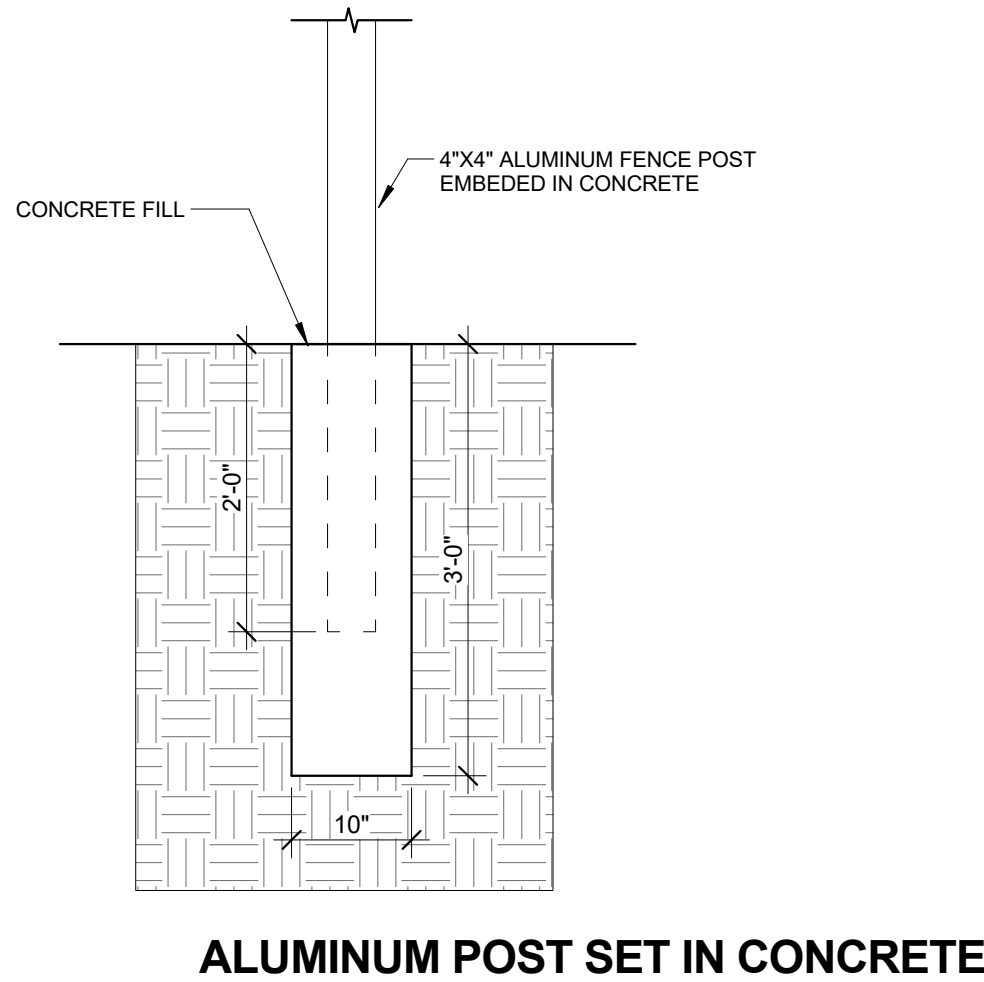
N:\Projects\2022\GERS Fence and Gates Havensight\HavensightFences.rvt



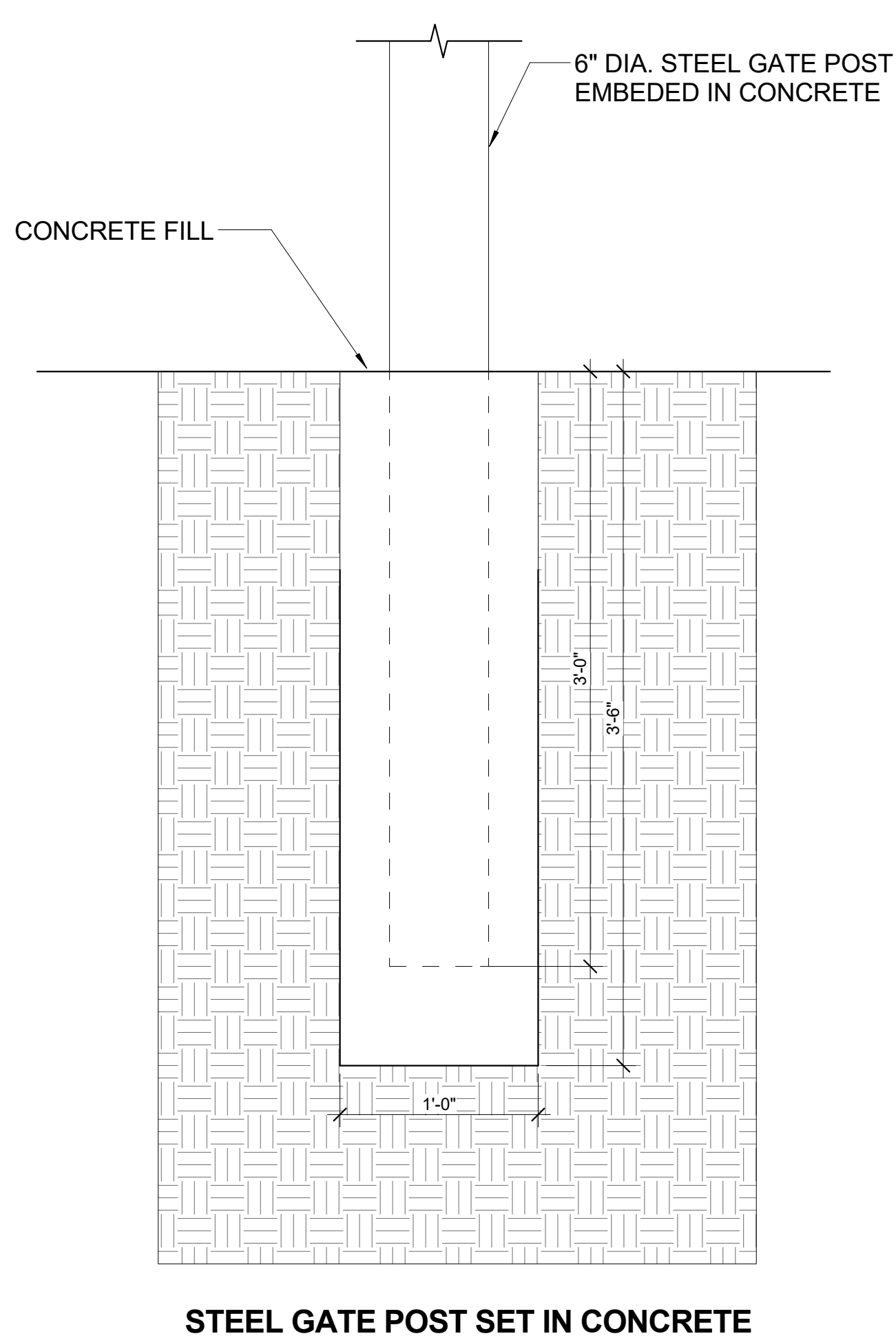
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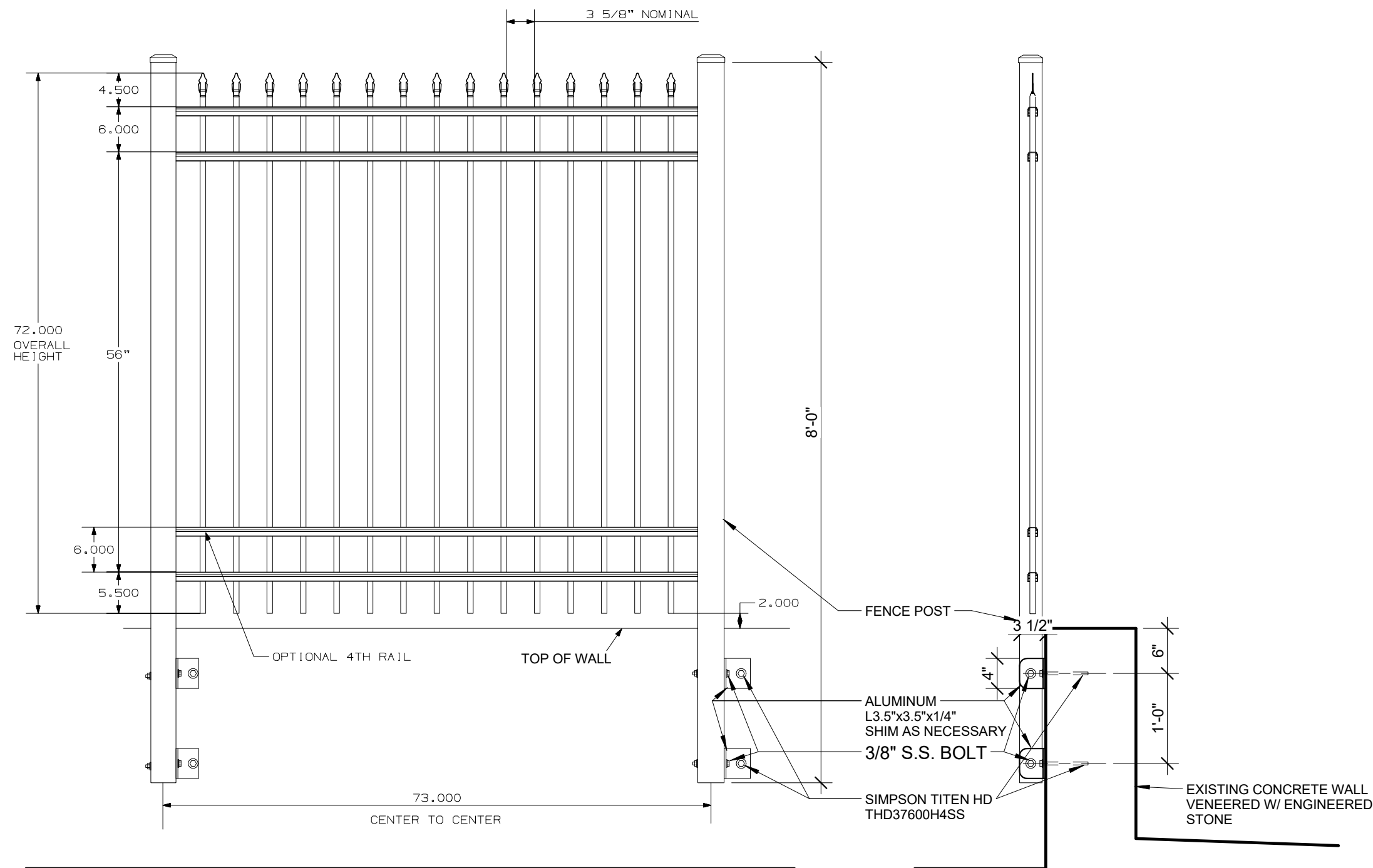
3 FENCE POST INSTALLATION  
3/4" = 1'-0"



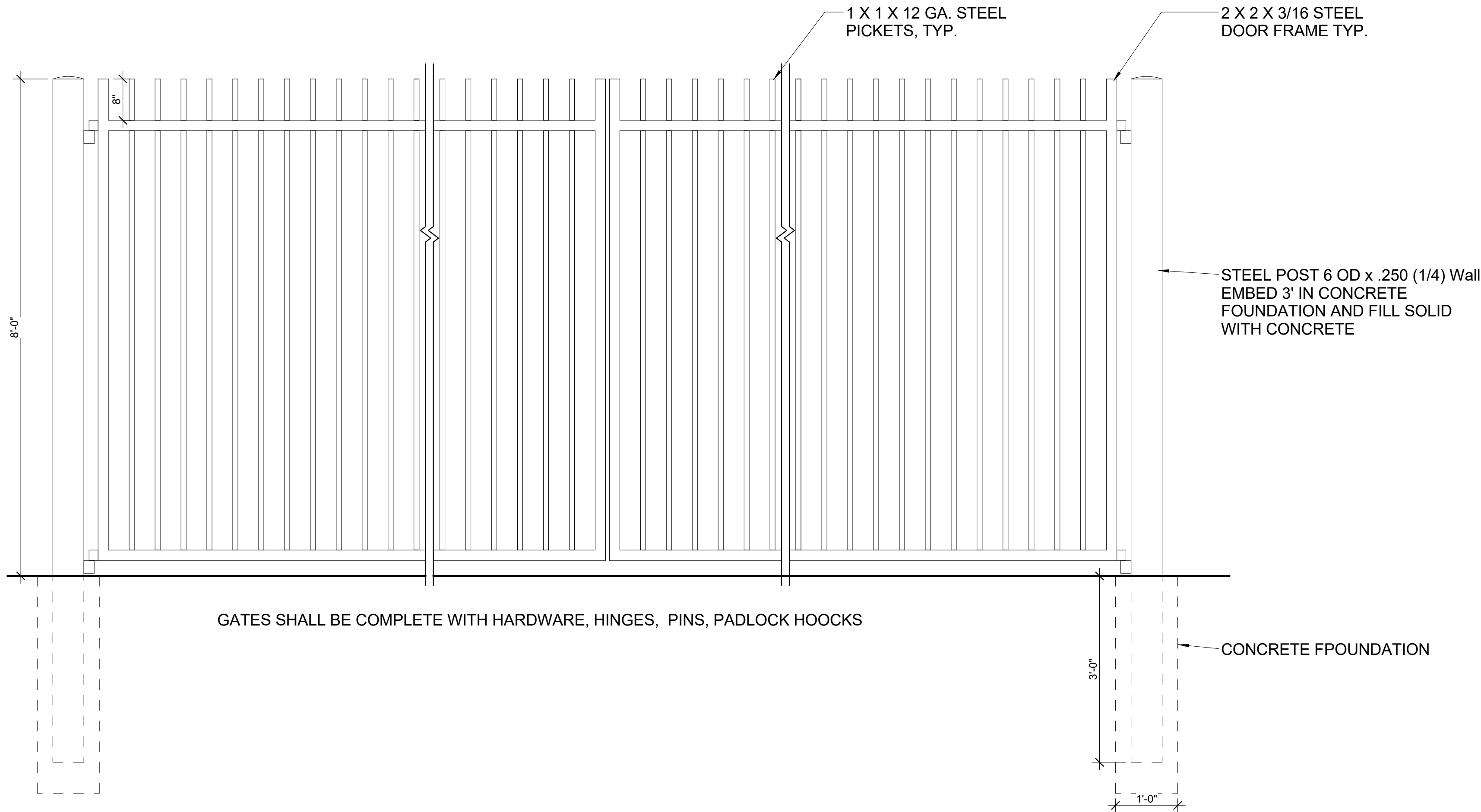
2 GATE POST INSTALLATION  
1 1/2" = 1'-0"



1 FENCE ON WALL INSTALLATION  
3/4" = 1'-0"



4 TYPICAL GATE DESIGN  
3/4" = 1'-0"



Havensight Mall Perimeter Fence Enclosure

FENCE AND GATE DETAILS

S3-1

Sheet Issue Date:  
06/10/13

REVISIONS	
#	Date

PROJECT No. 0000 ISSUED:000000  
Property ID No. 105404170100  
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